

Land Title Act 1994; Land Act 1994
Form 21 Version 4

First new plan of survey under section 108 of the Survey and Mapping Infrastructure Act 2003

Peg placed at all new corners, unless otherwise stated.

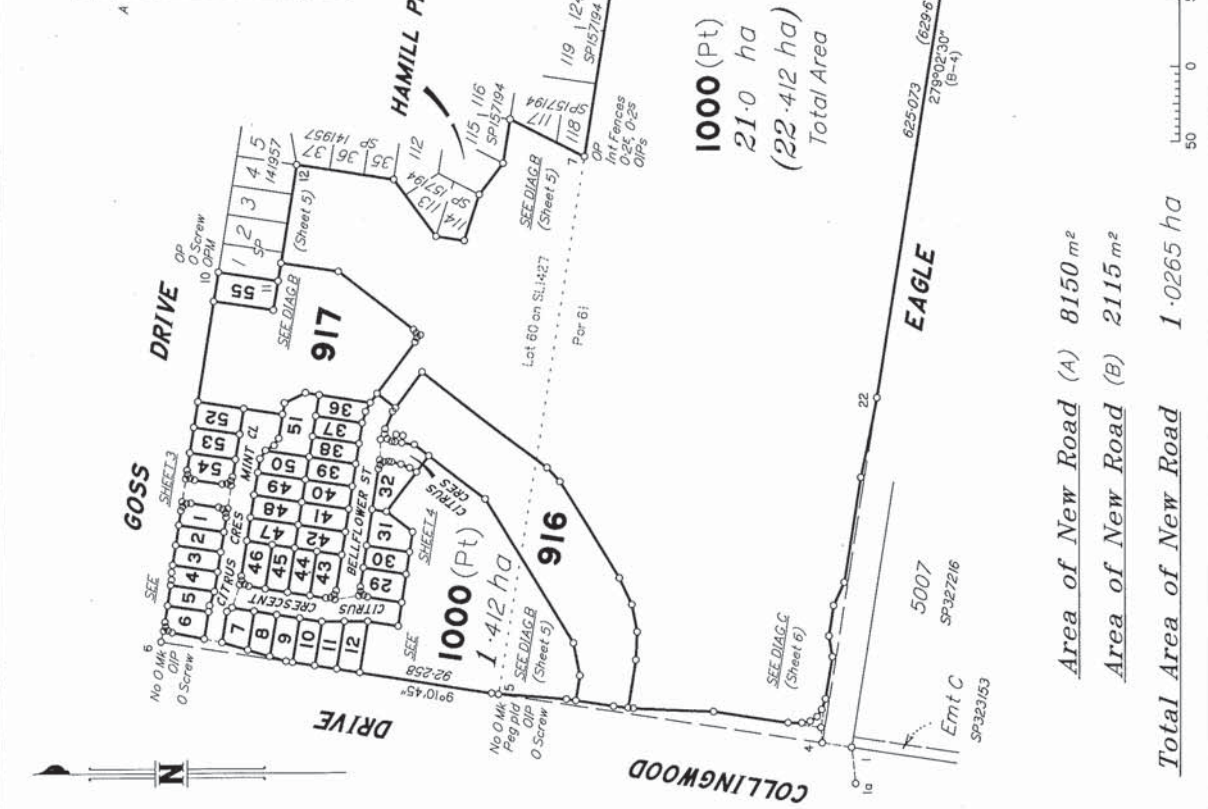
Original information compiled from IS2955566 in the Department of Resources.

See Sheet 6 for Reference Marks, Permanent Marks & MGA Coordinates Tables.

See Sheet 2 for Survey Reports.

Additional reference marks to be placed following road construction. (see IS308374).

TABLE A	
CREEK POINTS	
BEARING	DISTANCE
138°56'	21.135
183°17'40"	4.939
268°38'48"	20.027
218°02'10"	21.974
174°57'35"	7.348
138°13'55"	28.308
172°31'50"	27.157
222°31'20"	22.296
210°31'30"	13.662
242°44'25"	13.46
238°28'55"	11.077
203°07'45"	7.017
218°06'20"	14.82
172°23'45"	14.894



1000 (Pt)
21.0 ha
(22.412 ha)
Total Area

Area of New Road (A) 8150 m²
Area of New Road (B) 2115 m²
Total Area of New Road 1.0265 ha

Sheet 1 of 6



SAUNDERS HAVILL GROUP PTY LTD (ACN 144 972 949) hereby certify that the land comprised in this plan was surveyed by the corporation, by Brodie Jack FURBER, surveying geodetic, for whose work the corporation accepts responsibility, under the supervision of Michael KLEINE, cadastral surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 30/03/2022



[Signature]
Authorised Signatory
[Signature]
Authorised Signatory
Date: 8.04.2022

Plan of Lots 1-12, 29-32, 36-55, 916, 917 & 1000

Canelling Lot 801 on SP157194 and Lots 1 & 2 on RP22251

LOCAL GOVERNMENT: IPSWICH CITY LOCALITY: COLLINGWOOD PARK
Meridian: MGA (Zone 56) by CORS
Survey Records: No

Scale: 1:3000

Format: STANDARD



SP327531

9647SP327531.DWG TBC

WARNING : Folded or Mutilated Plans will not be accepted.
Plans may be rolled.
Information may not be placed in the outer margins.

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29/04/2022 15:47:54

4. Lodged by
Melanes Wilson Lawyers
Level 23, 345 Queen Street
Brisbane QLD 4000
melaprell@mcw.com.au
07 3014 6511
234A
(Include address, phone number, email, reference, and Lodger Code)

Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
11990092	Lot 1 on RP22251	916 & 1000	New Rd	
11990093	Lot 2 on RP22251	1000	New Rd	
50478237	Lot 801 on SP157194	1-12, 29-32, 36-55, 916, 917 & 1000	New Rd	

EXISTING ADMINISTRATIVE ADVICE ALLOCATIONS

Administrative Advice	Administrative Advice	Lots to be Encumbered
721441326	(NIR)	1000
721585840	(NIR)	1000
721585841	(NIR)	1000

SURVEY REPORT

First New Plan of Survey of a non-tidal watercourse s.108 Survey and Mapping Infrastructure Act 2003 (SMIA)

Survey of non-tidal watercourse boundary

The current location of the natural feature has been determined by field survey.

The natural feature, top of bank, adopted as the boundary on SP327531 accords with the non-tidal boundary location criteria in s. 100 as follows:

- 1 It occurs naturally; is within the channel but not within the bed of the watercourse and it is in a reasonably stable location
- 2 It is not a line of intersection of a particular level of water flow with land and; it is not transient in nature
- 3 It is the top of a bank

The feature is closer to the opposite side of the watercourse than the previous survey on S151816 and has more bends than shown on S151816. There is no overlap with the opposite side as surveyed on SP286307.

No field notes of the original creek traverse are available, and no alternate well defined natural feature that is further from the opposite side of the watercourse was identified. We are therefore satisfied that changes in position of the natural feature between the surveys are attributed to the age of the original survey and to natural accretion and erosion over the time elapsed.

REINSTATEMENT REPORT

All corners are fixed by original marks and reference marks in agreement with IS295566. See reinstatement report on IS295566 for further details.

Plans used: IS295566, SP141957, SP157194, RP22251 & S151816

1-12, 29-32, 36-55 & 917	Lot 60 on SLI427
916 & 1000	Lot 60 on SLI427 & Por 61
Lots	Orig

2. Orig Grant Allocation :

3. References :
Dept File :
Local Govt :
Surveyor : 9641 - Stage 1

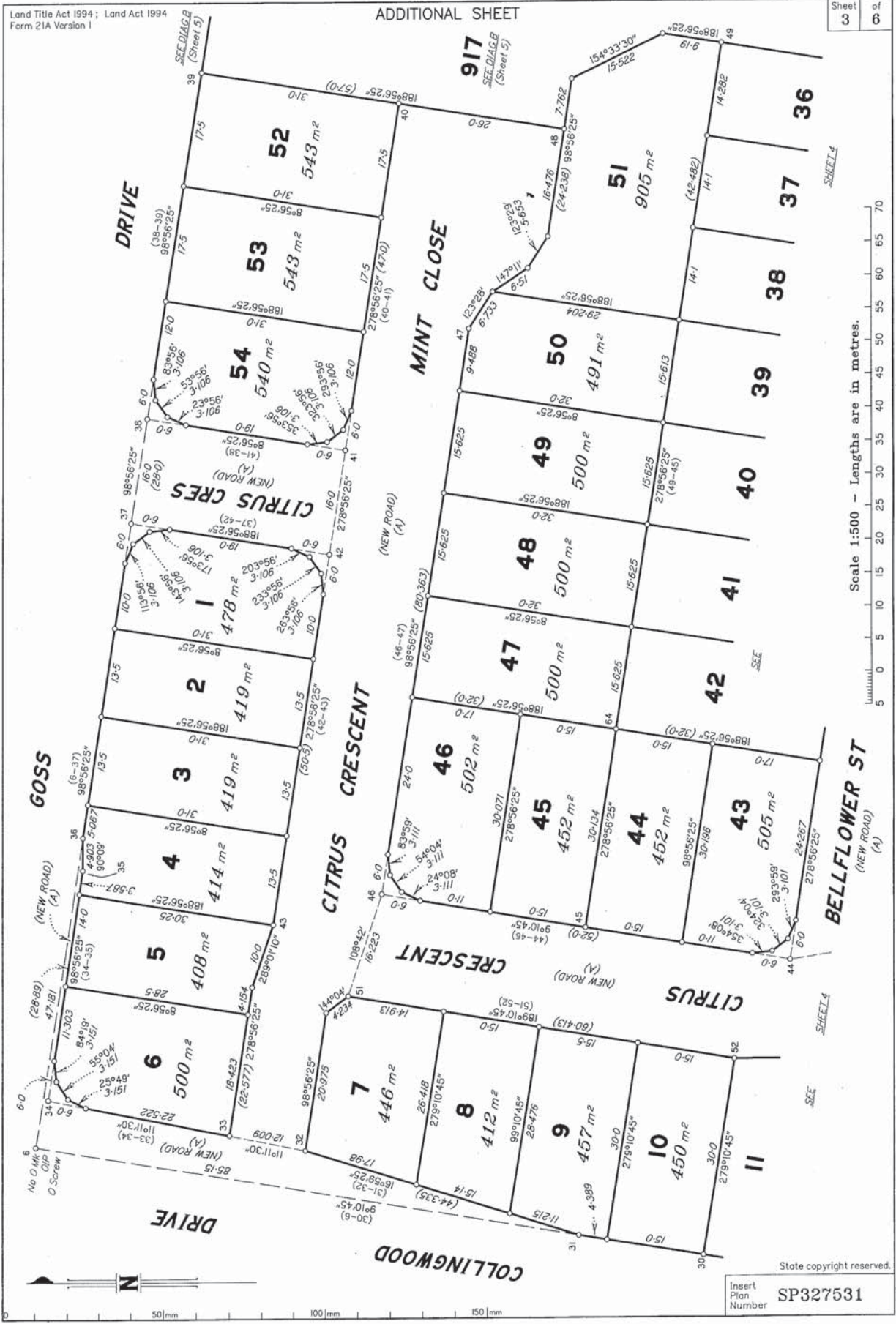
5. Passed & Endorsed :
By: SAUNDERS HAVILL GROUP PTY LTD
Date: 28/04/2022
Signed: *[Signature]*
Designation: Endorsing Officer

6. Building Format Plans only.
I certify that :
* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.
* Part of the building shown on this plan encroaches onto adjoining * lots and road

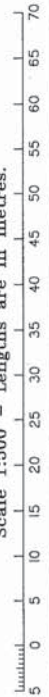
Cadastral Surveyor/Director * Date
*delete words not required

7. Lodgement Fees :
Survey Deposit \$
Lodgement \$
..... New Titles \$
Photocopy \$
Postage \$
TOTAL \$

8. Insert Plan Number
SP327531



Scale 1:500 - Lengths are in metres.



Insert Plan Number SP327531

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DIAGRAM C
1:1000

M.G.A. COORDINATES (GDA-2020)

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
1a	485 908.579	6 944 443.689	56	0-03	Derived	Network RTK	O Screw in Kerb
PM103196	486 283.448	6 944 898.345	56	0-03	Derived	Network RTK	

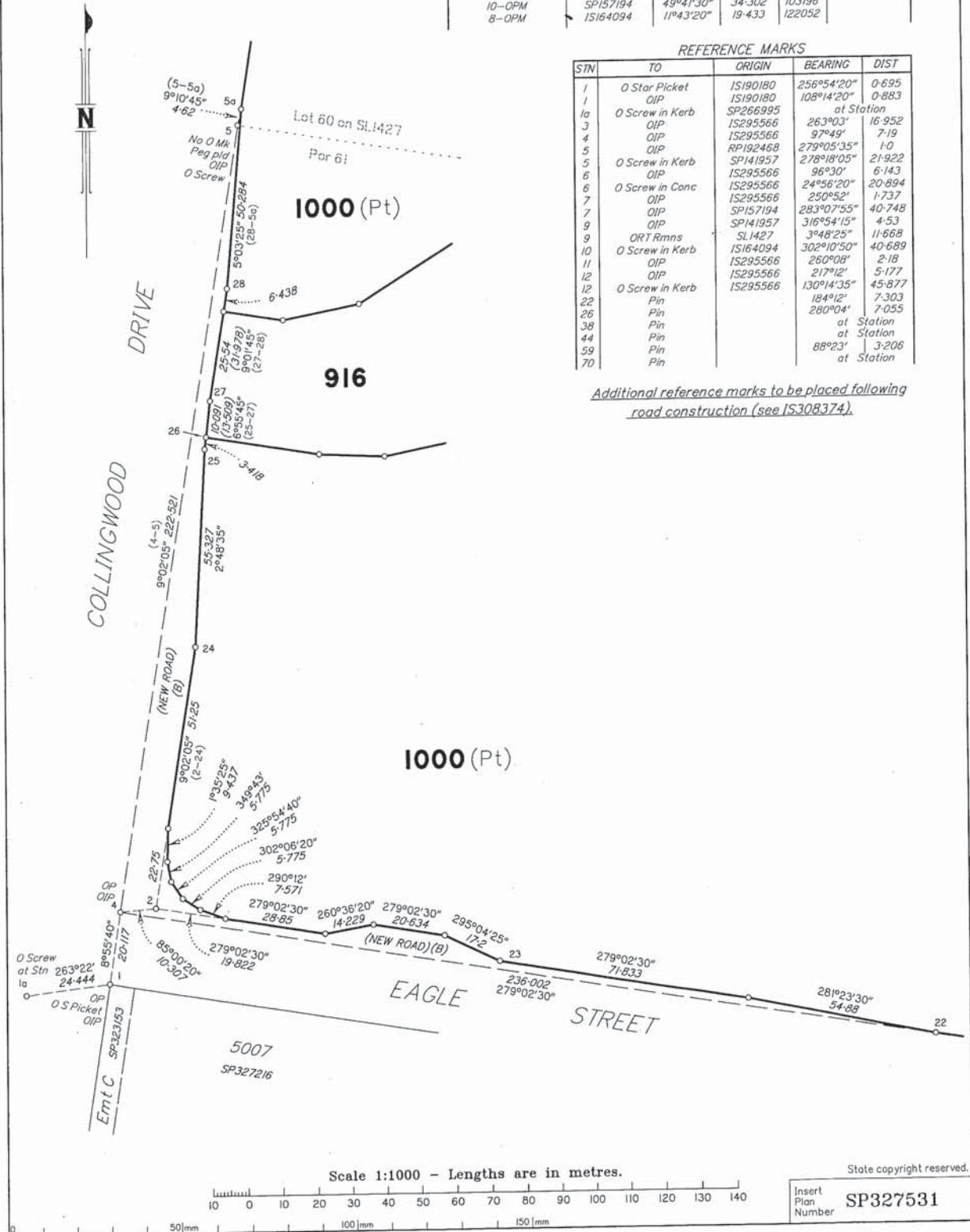
PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
10-OPM	SP157194	49°41'30"	34.302	103196	
8-OPM	IS164094	11°43'20"	19.433	122052	

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
1	O Star Picket	IS190180	256°54'20"	0.695
1	OIP	IS190180	108°14'20"	0.883
1a	O Screw in Kerb	SP266995	at Station	
3	OIP	IS295566	263°03'	16.952
4	OIP	IS295566	97°49'	7.19
5	OIP	RP192468	279°05'35"	10
5	O Screw in Kerb	SP141957	278°18'05"	21.922
6	OIP	IS295566	96°30'	6.143
6	O Screw in Conc	IS295566	24°56'20"	20.894
7	OIP	IS295566	250°52'	1.737
7	OIP	SP157194	283°07'55"	40.748
9	OIP	SP141957	316°54'15"	4.53
9	ORT Rmns	SL1427	3°48'25"	11.668
10	O Screw in Kerb	IS164094	302°10'50"	40.689
11	OIP	IS295566	260°08'	2.18
12	OIP	IS295566	217°12'	5.177
12	O Screw in Kerb	IS295566	130°14'35"	45.877
22	Pin		184°12'	7.303
26	Pin		280°04'	7.055
38	Pin		at Station	
44	Pin		at Station	
59	Pin		88°23'	3.206
70	Pin		at Station	

Additional reference marks to be placed following road construction (see IS308374).



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Insert Plan Number **SP327531**