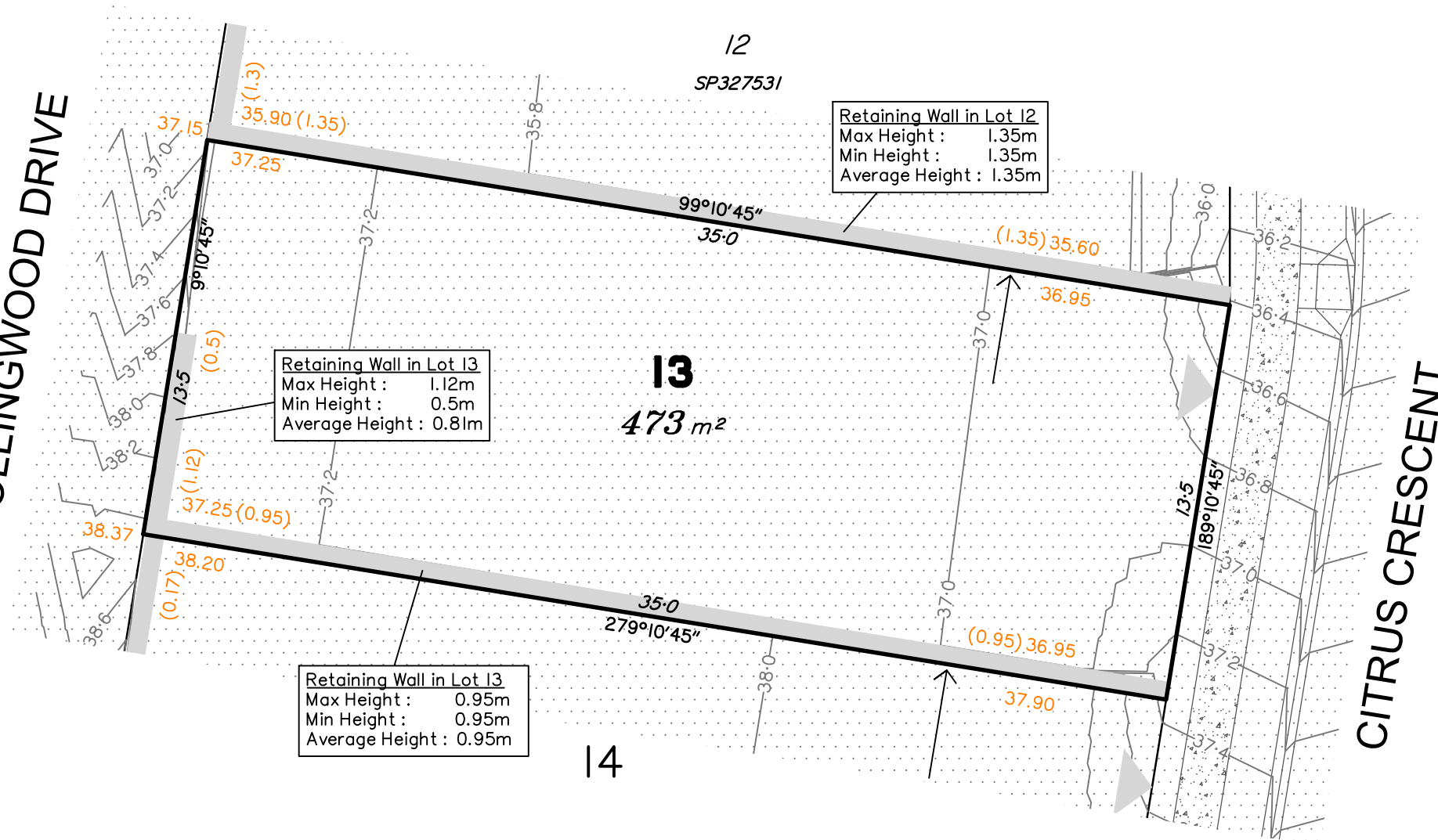




COLLINGWOOD DRIVE



## STAGE 2

### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

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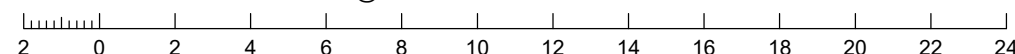
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban Pty Ltd.

#### NOTE:

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SCALE @A3 1:200 - LENGTHS ARE IN METRES



No.	by	Date	Chkd	Description
A	TBG	06/09/21	BF	Original Issue



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### Disclosure Plan for Proposed Lot 13 on SP327902

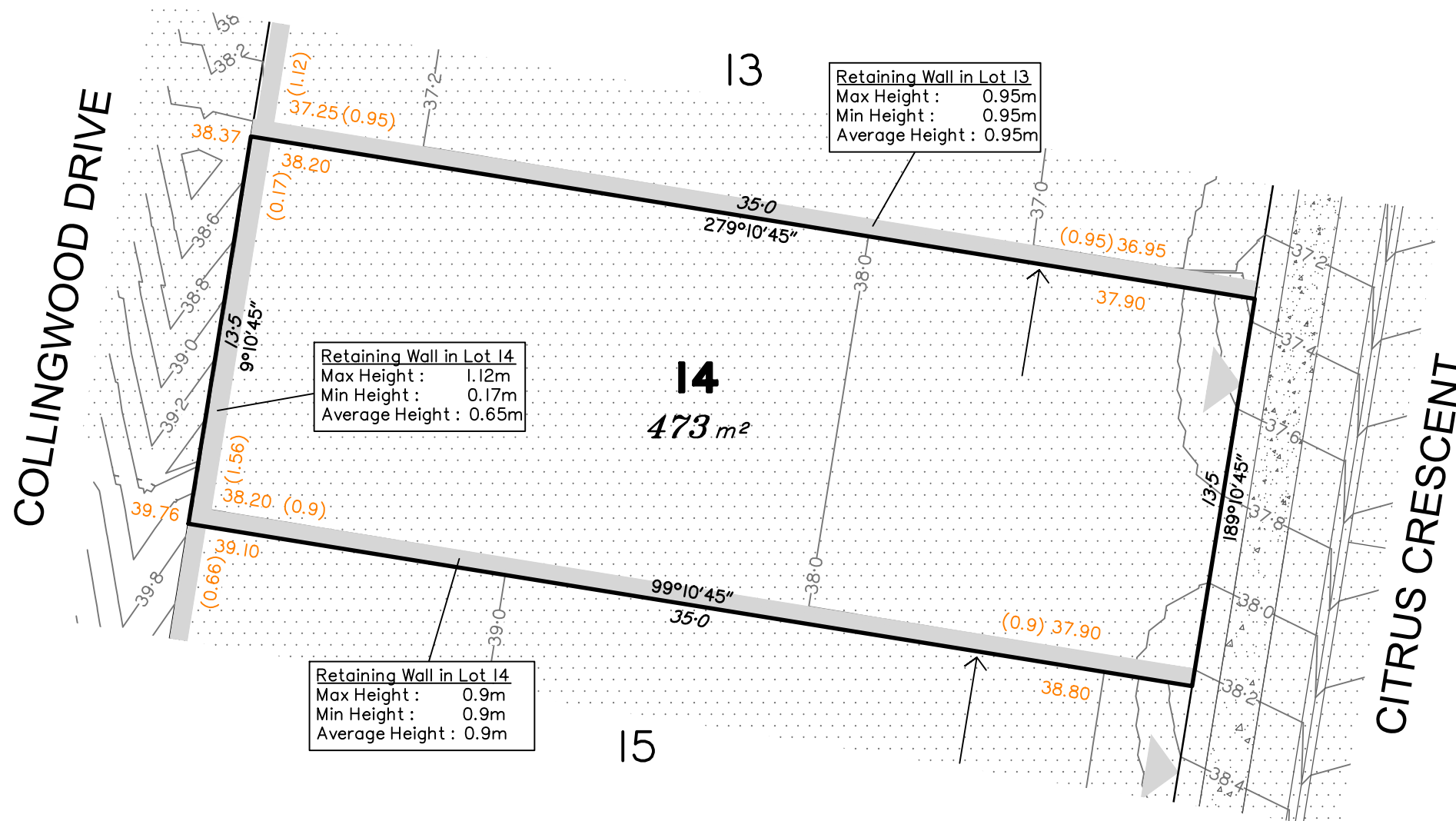
Described as part of Lot 801 on SP157194  
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM110122  
RL of Origin: 40.32  
Contour Interval: 0.2m  
Scale @A3 1: 200  
Dwg No. 9641 S 23 DP A\_13



COLLINGWOOD DRIVE



## STAGE 2

### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

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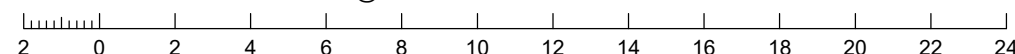
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban Pty Ltd.

#### NOTE:

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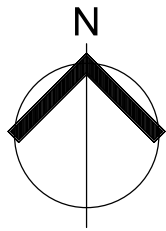
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### Disclosure Plan for Proposed Lot 14 on SP327902

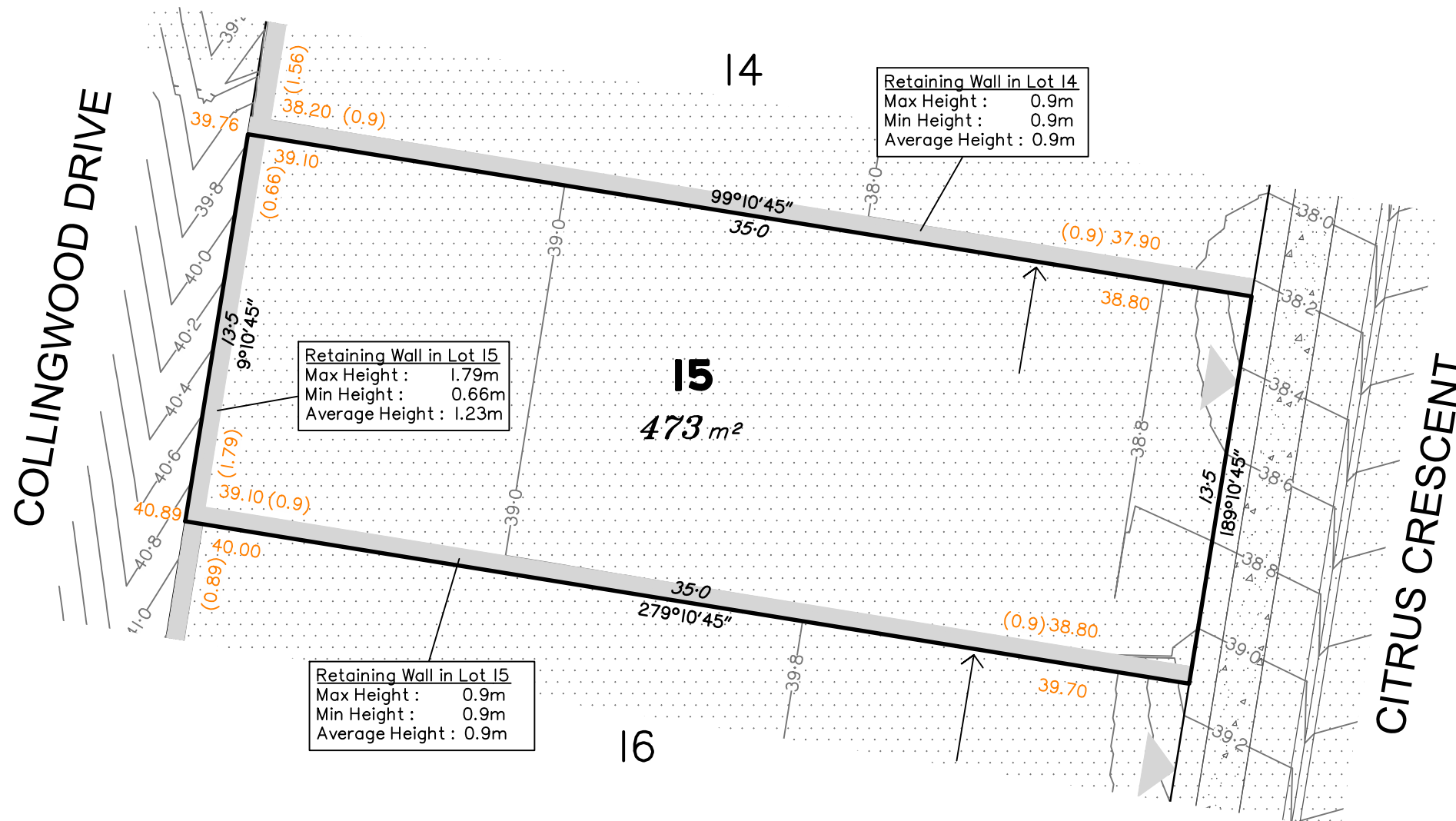
Described as part of Lot 801 on SP157194  
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM110122  
RL of Origin: 40.32  
Contour Interval: 0.2m  
Scale @A3 1: 200  
Dwg No. 9641 S 23 DP A\_14



COLLINGWOOD DRIVE



**NOTE:**

IN ACCORDANCE WITH IPSWICH CITY COUNCIL APPROVAL CONDITION 10(a), A STATUTORY COVENANT WILL BE REGISTERED OVER THIS LOT WITH THE DEPARTMENT OF RESOURCES. THIS COVENANT MUST DETAIL THE REQUIREMENT TO INCORPORATE RELEVANT NOISE REDUCTION DESIGN FEATURES IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE ROAD TRAFFIC NOISE ASSESSMENT REPORT TITLED 'PROPOSED RESIDENTIAL SUBDIVISION COLLINGWOOD DRIVE, COLLINGWOOD PARK', PREPARED BY TTM, REFERENCE NO. I9BRA0099 R01\_3 AND DATED 21 AUGUST 2020.



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**Disclosure Plan for Proposed Lot 15 on SP327902**

Described as part of Lot 801 on SP157194  
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

**LEGEND**

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

**NOTES**

This plan has been prepared from preliminary survey plan (SP327902) and engineering plans provided on the 14/07/2021 by Peak Urban Pty Ltd.

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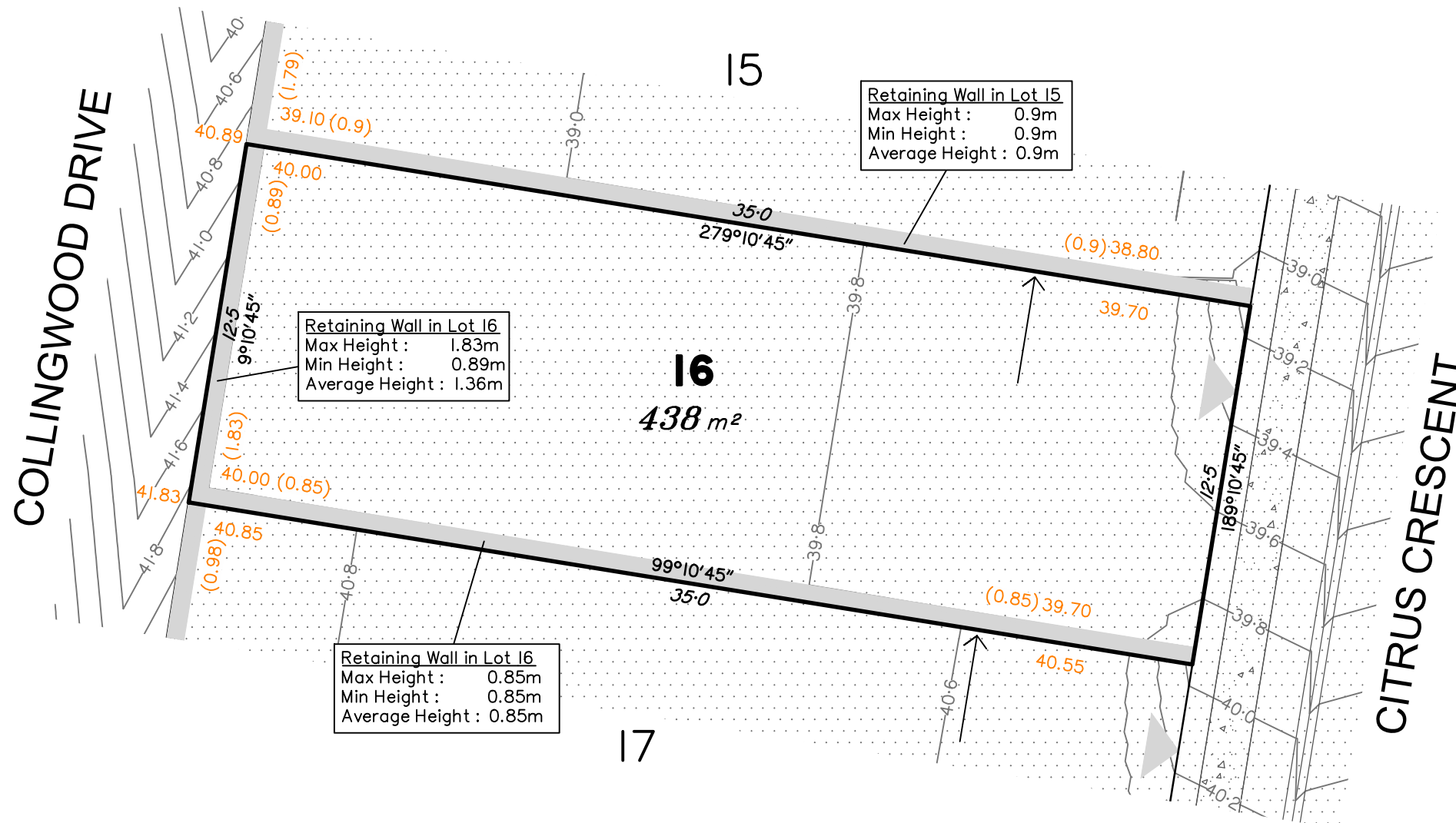
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Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban Pty Ltd.

No.	by	Date	Chkd	Description
A	TBG	06/09/21	BF	Original Issue

Level Datum: AHD der.  
Origin of Levels: PSM110122  
RL of Origin: 40.32  
Contour Interval: 0.2m  
Scale @A3 1: 200  
Dwg No. 9641 S 23 DP A\_15





## STAGE 2

### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall  
(Height shown in brackets on lower side)
- Finished Design Surface Level
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

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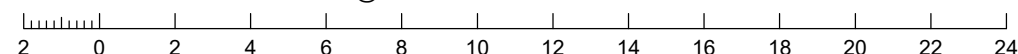
Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban Pty Ltd.

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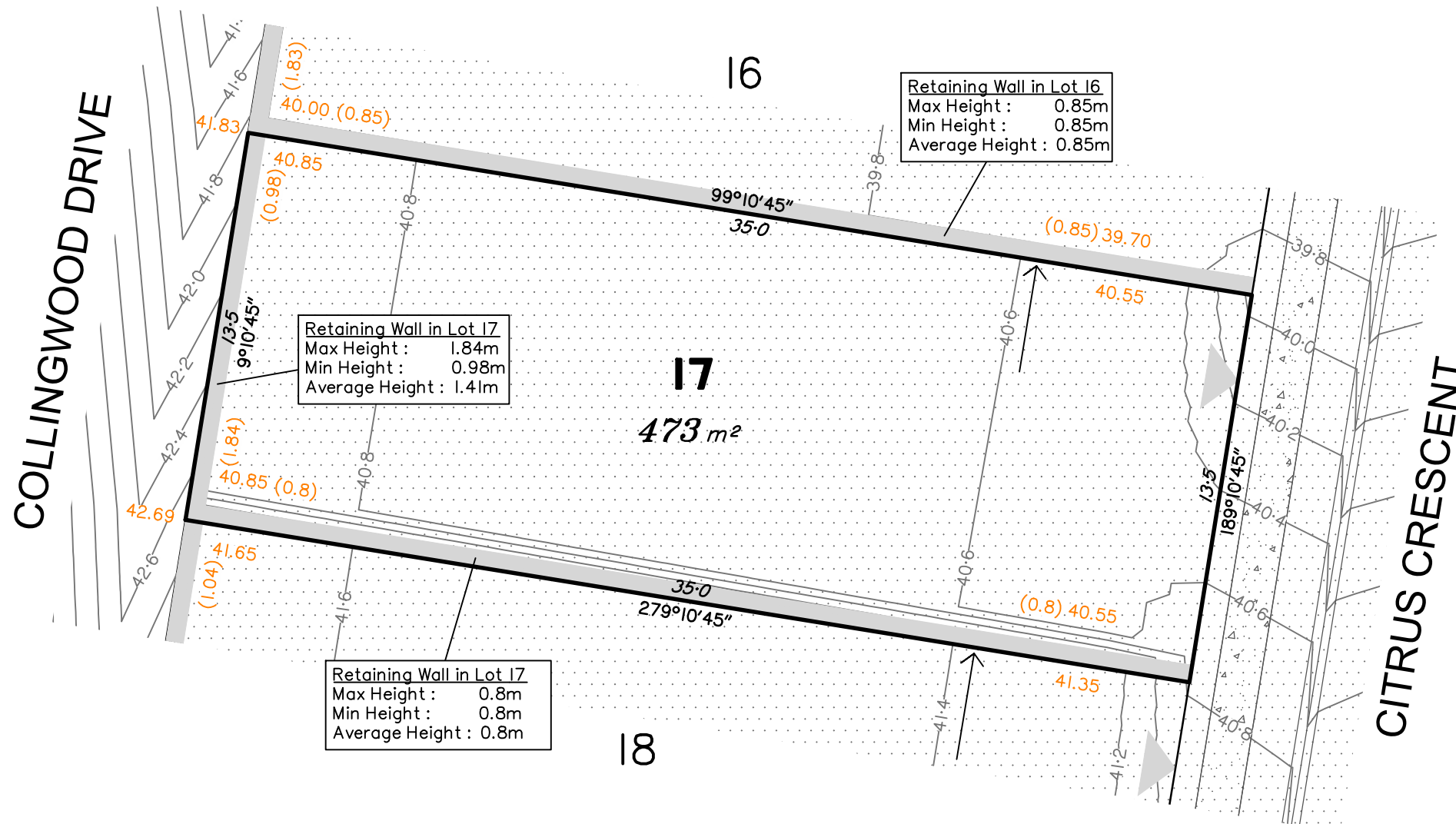
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### Disclosure Plan for Proposed Lot 16 on SP327902

Described as part of Lot 801 on SP157194  
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM110122  
RL of Origin: 40.32  
Contour Interval: 0.2m  
Scale @A3 1: 200  
Dwg No. 9641 S 23 DP A\_16



## STAGE 2

### LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

### NOTES

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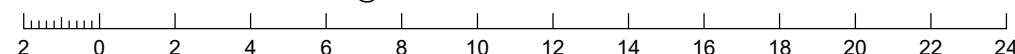
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### Disclosure Plan for Proposed Lot 17 on SP327902

Described as part of Lot 801 on SP157194  
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.  
Origin of Levels: PSM110122  
RL of Origin: 40.32  
Contour Interval: 0.2m  
Scale @A3 1: 200  
Dwg No. 9641 S 23 DP A\_17