

STAGE 3

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- XX.XX Finished Design Surface Level
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP331483) and engineering plans provided on the 22/11/2021 by Peak Urban Pty Ltd.

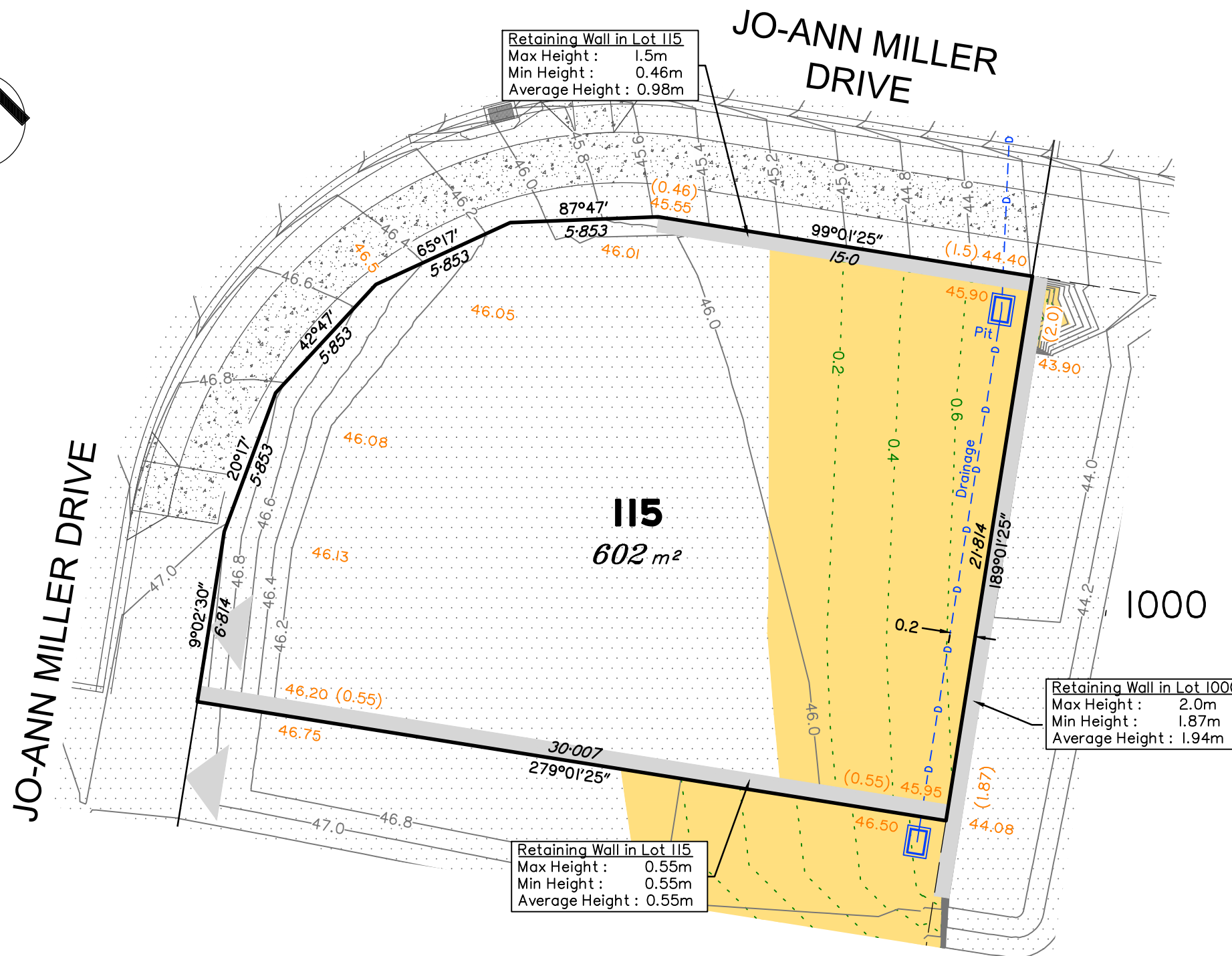
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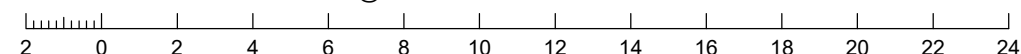
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SCALE @A3 1:200 - LENGTHS ARE IN METRES



Issues	No.	by	Date	Chkd	Description
	A	TBG	16/11/21	CU	Original Issue
	B	TBG	23/11/21	TG	Earthworks updated



Saunders Havill Group Pty Ltd ABN 24 144 972 949
Brisbane Springfield Rockhampton
head office 9 Thompson St Bowen Hills Q 4006
phone 1300 123 SHG web www.saundershavill.com

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Disclosure Plan for Proposed Lot 115 on SP331483

Described as part of Lot 1 on RP22251

Existing Title Reference: 11990092

Locality of Collingwood Park (Ipswich City Council)

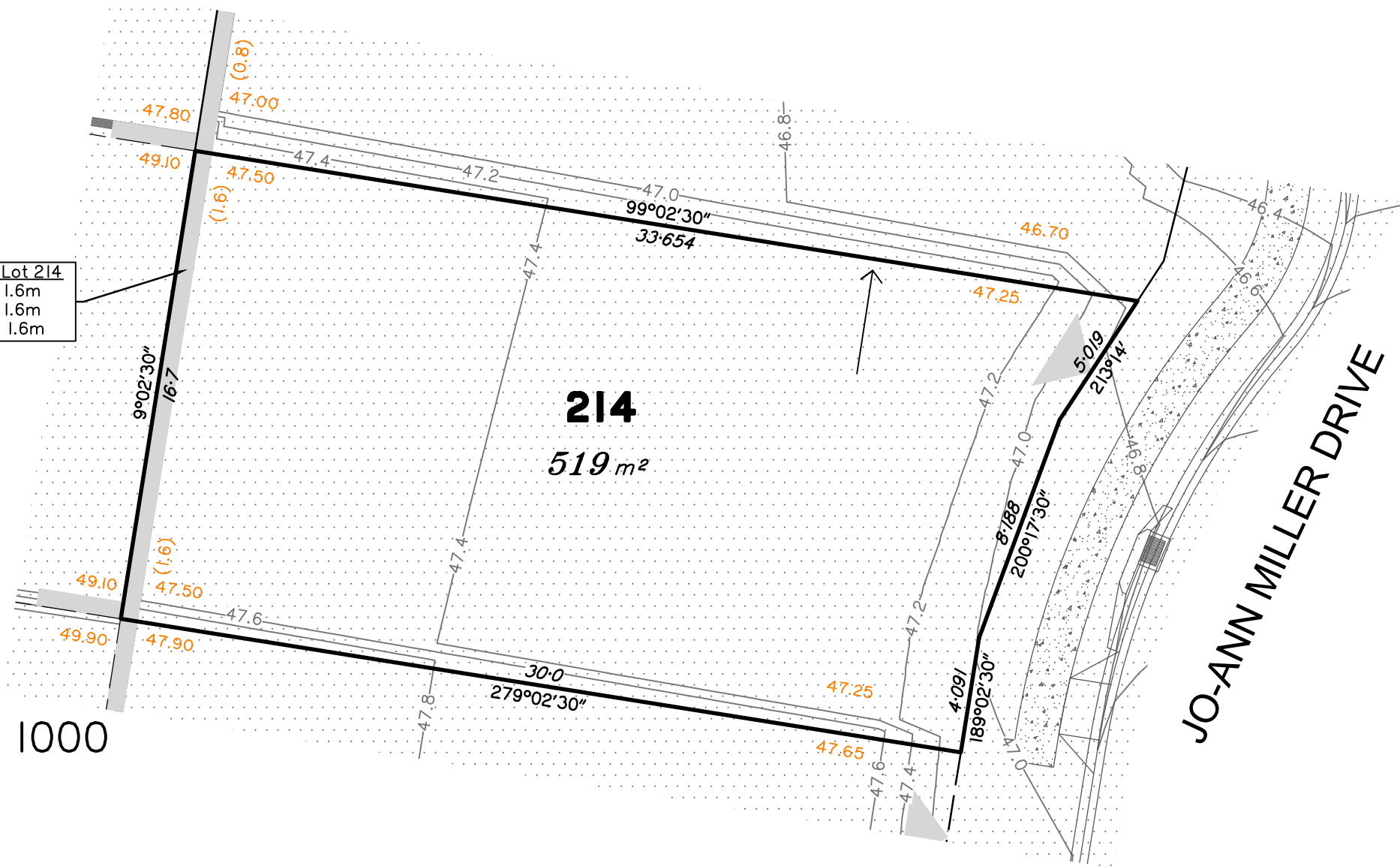
Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m

Scale @A3 1: 200

Dwg No. 9641 S 24 DP B_115



Retaining Wall in Lot 214
Max Height : 1.6m
Min Height : 1.6m
Average Height : 1.6m



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- Proposed Driveway Location

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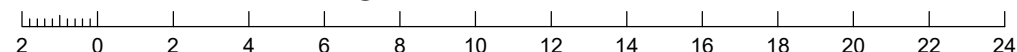
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Disclosure Plan for Proposed Lot 214 on SP331483

Described as part of Lot 1 on RP22251
Existing Title Reference: 11990092

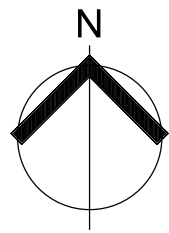
Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m

Scale @A3 1: 200

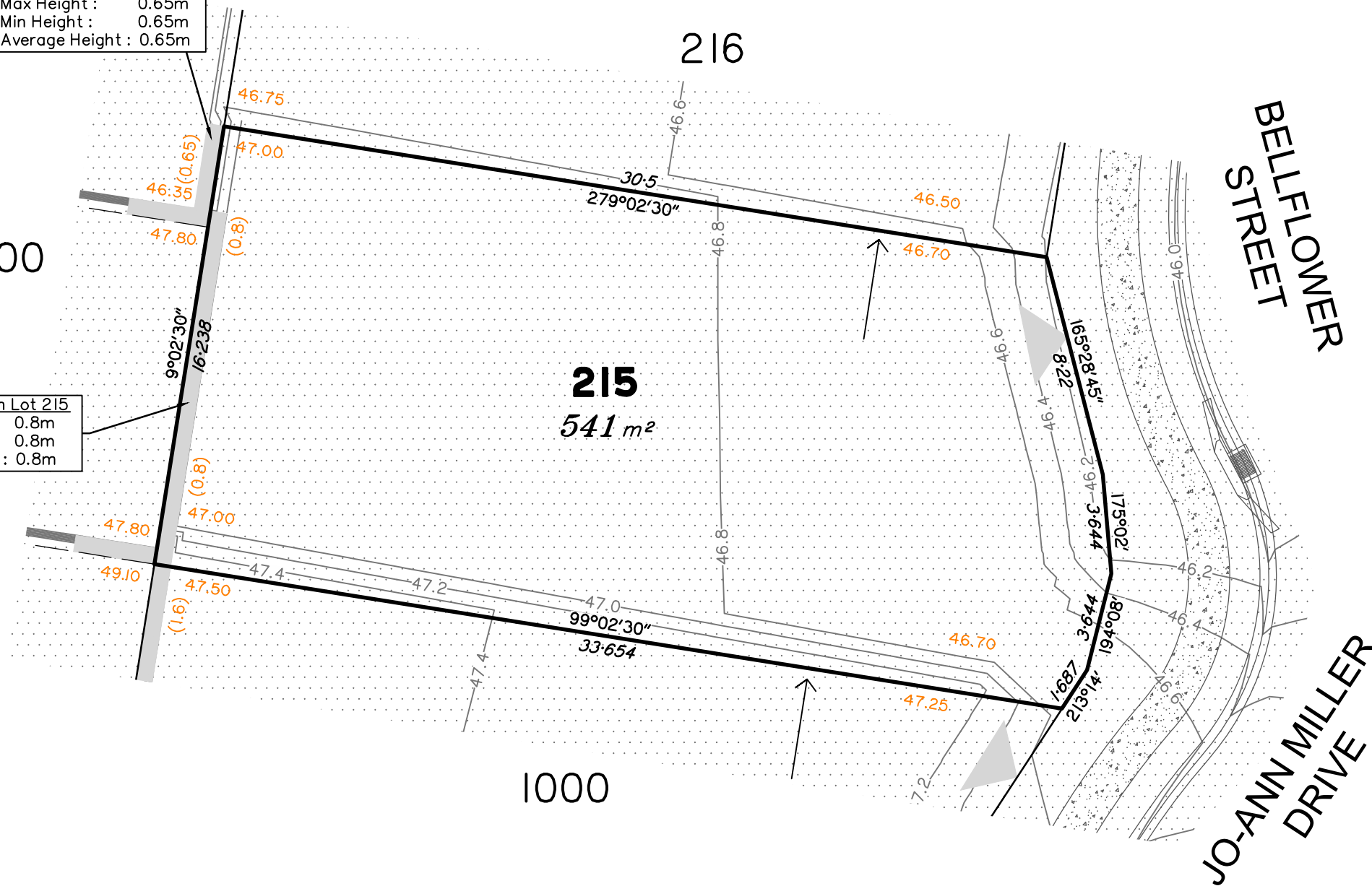
Dwg No. 9641 S 24 DP A_214

Issues	No.	by	Date	Chkd	Description
	A	TBG	16/11/21	CU	Original Issue



Retaining Wall in Lot 1000
Max Height : 0.65m
Min Height : 0.65m
Average Height : 0.65m

Retaining Wall in Lot 215
Max Height : 0.8m
Min Height : 0.8m
Average Height : 0.8m



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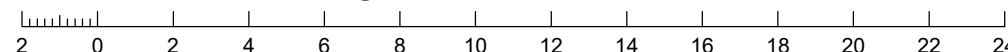
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Disclosure Plan for Proposed Lot 215 on SP331483

Described as part of Lot 1 on RP22251

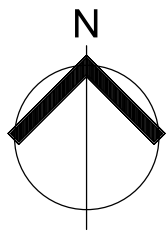
Existing Title Reference: 11990092

Locality of Collingwood Park (Ipswich City Council)

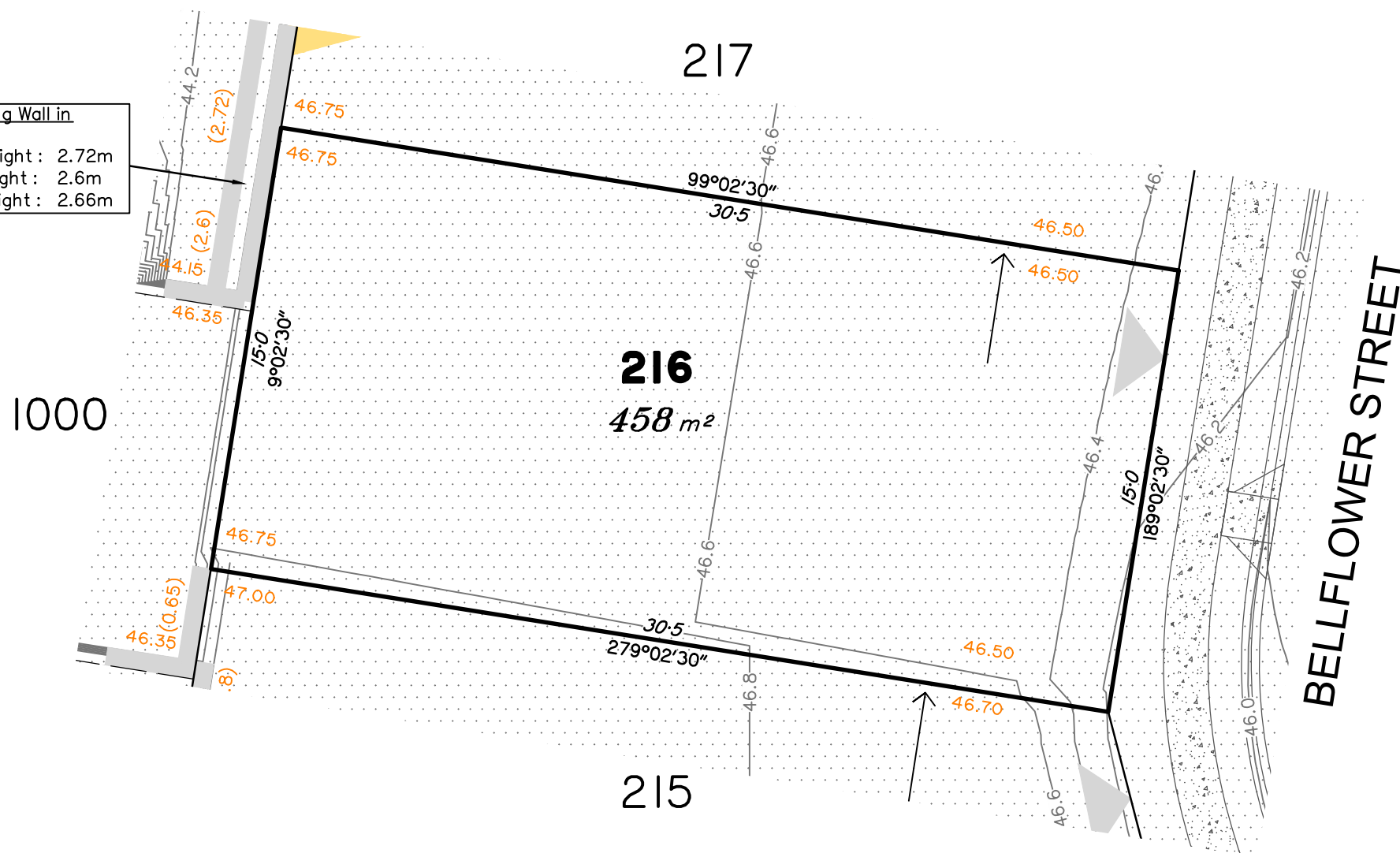
Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m

Scale @A3 1: 200

Dwg No. 9641 S 24 DP A_215



Tiered Retaining Wall in Lot 1000
Max (Total) Height : 2.72m
Min (Total) Height : 2.6m
Avg (Total) Height : 2.66m



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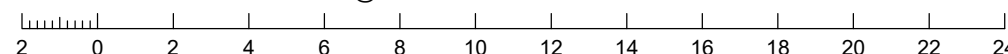
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Disclosure Plan for Proposed Lot 216 on SP331483

Described as part of Lot 1 on RP22251

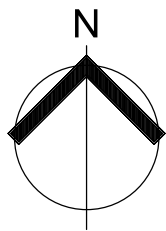
Existing Title Reference: 11990092

Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m

Scale @A3 1: 200

Dwg No. 9641 S 24 DP A_216



STAGE 3

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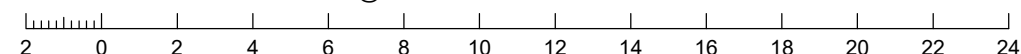
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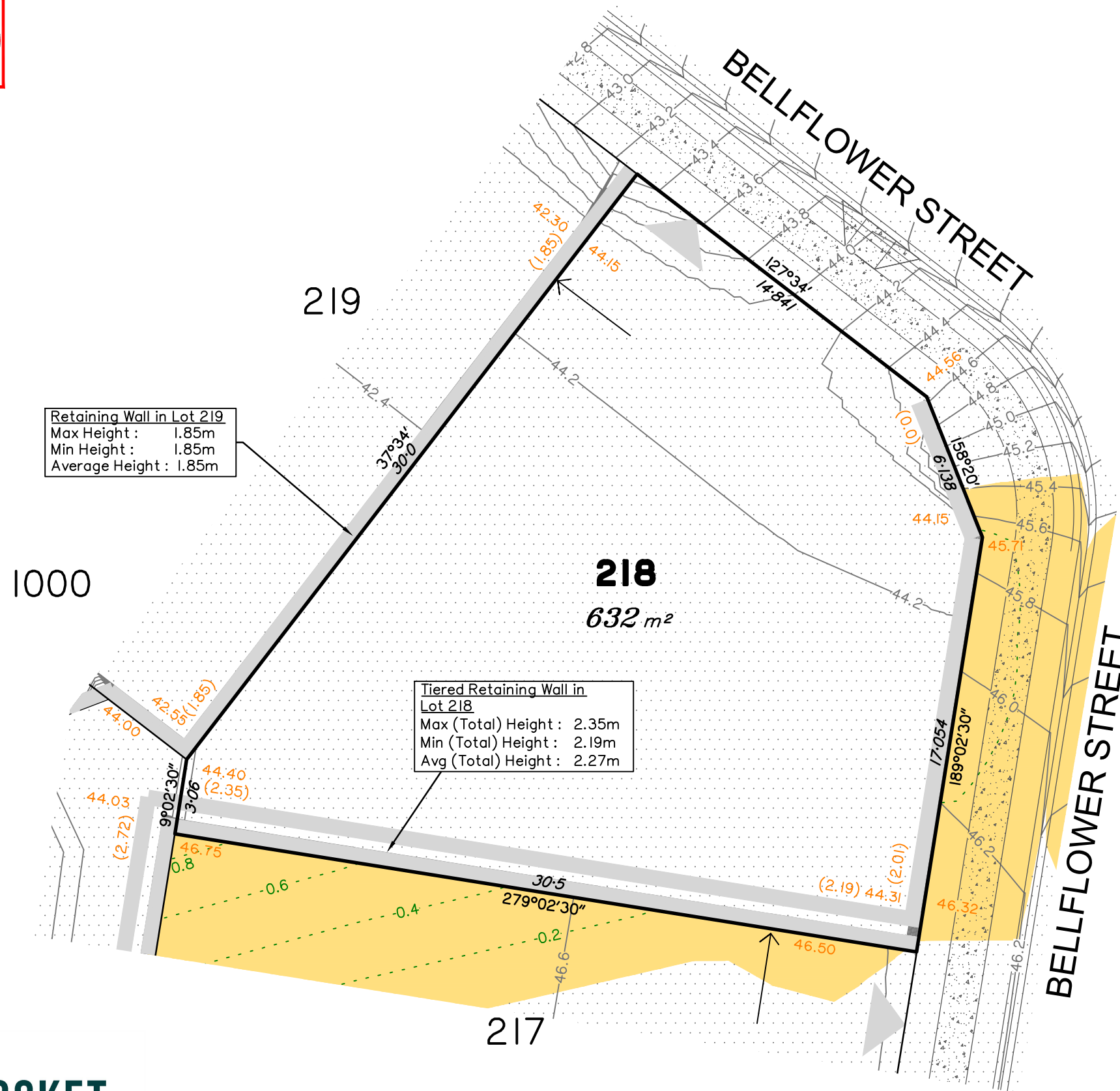
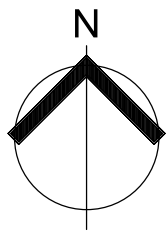
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Disclosure Plan for Proposed Lot 217 on SP331483

Described as part of Lot 1 on RP22251 and Lot 801 on SP157194
Existing Title References: 11990092 & 50478237

Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m
Scale @A3 1: 200
Dwg No. 9641 S 24 DP A_217



Retaining Wall in Lot 219
Max Height : 1.85m
Min Height : 1.85m
Average Height : 1.85m

Tiered Retaining Wall in Lot 218
Max (Total) Height : 2.35m
Min (Total) Height : 2.19m
Avg (Total) Height : 2.27m

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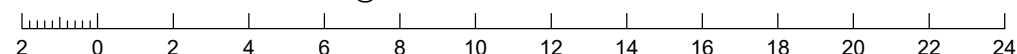
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Disclosure Plan for Proposed Lot 218 on SP331483

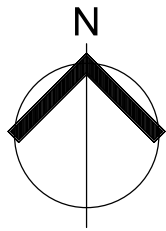
Described as part of Lot 801 on SP157194
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

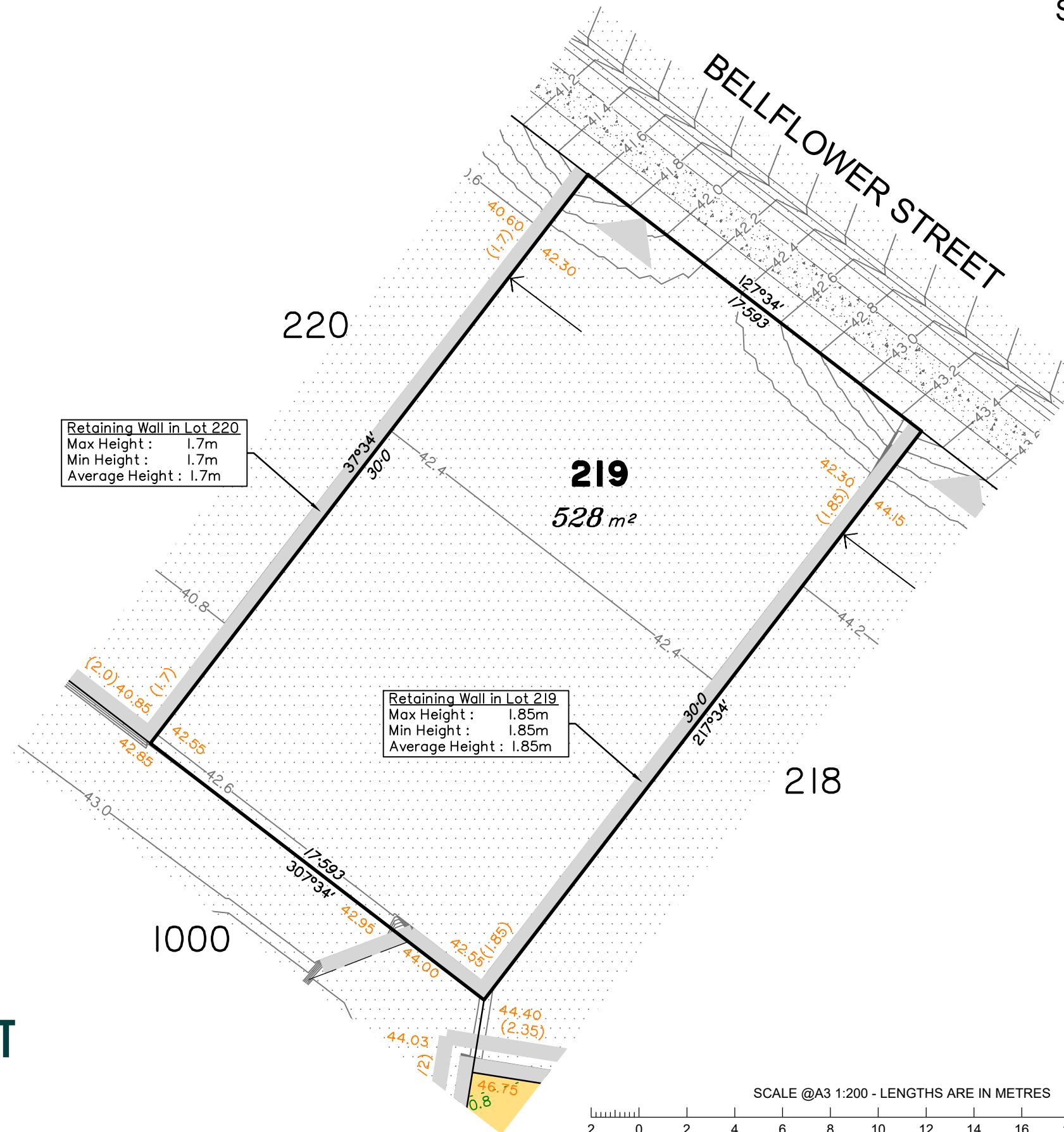
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Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m

Scale @A3 1: 200

Dwg No. 9641 S 24 DP A_218



STAGE 3

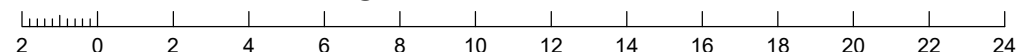


Retaining Wall in Lot 220
Max Height : 1.7m
Min Height : 1.7m
Average Height : 1.7m

Retaining Wall in Lot 219
Max Height : 1.85m
Min Height : 1.85m
Average Height : 1.85m



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Disclosure Plan for Proposed Lot 219 on SP331483

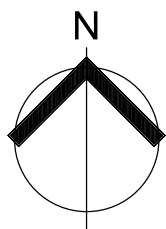
Described as part of Lot 801 on SP157194
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m

Scale @A3 1: 200

Dwg No. 9641 S 24 DP A_219



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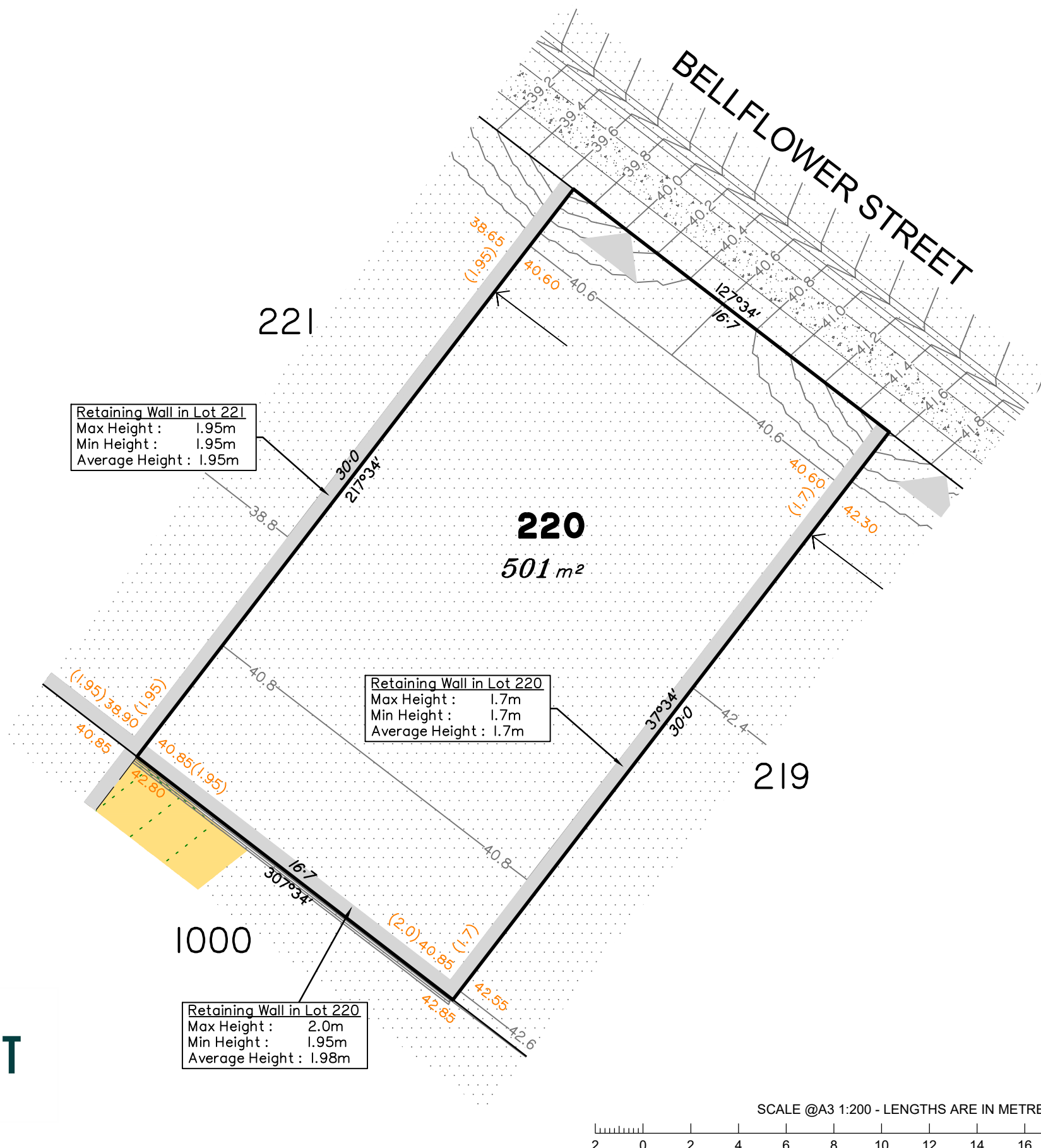
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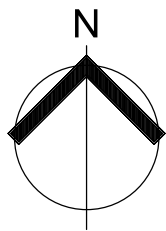
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Existing Title Reference: 50478237

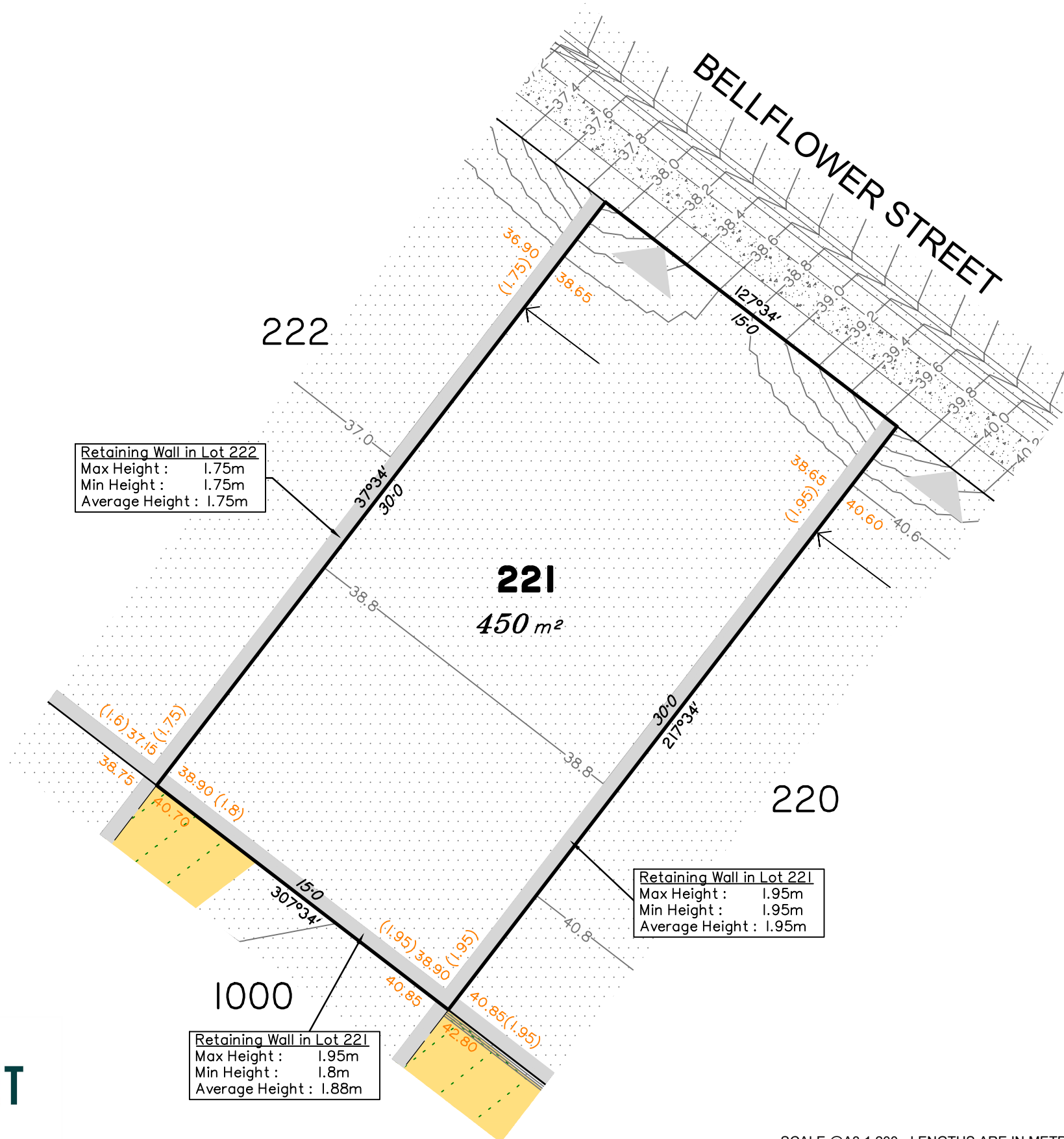
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Dwg No. 9641 S 24 DP B_220

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Disclosure Plan for Proposed Lot 221 on SP331483

Described as part of Lot 801 on SP157194
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

LEGEND

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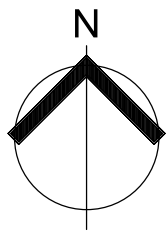
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Dwg No. 9641 S 24 DP A_221



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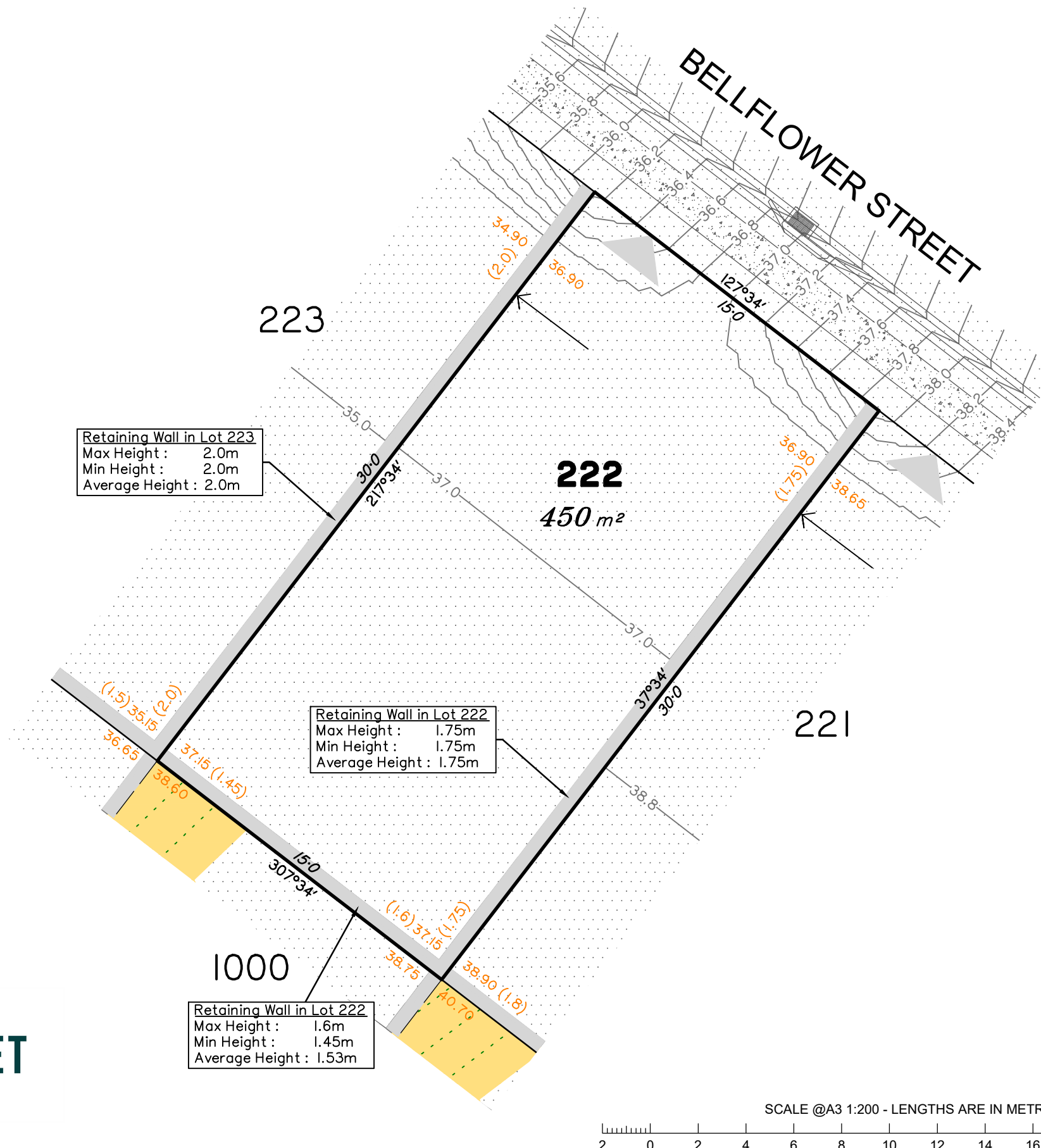
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■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

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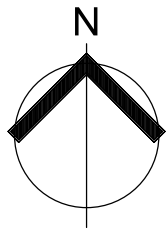
Disclosure Plan for Proposed Lot 222 on SP331483

Described as part of Lot 801 on SP157194
Existing Title Reference: 50478237

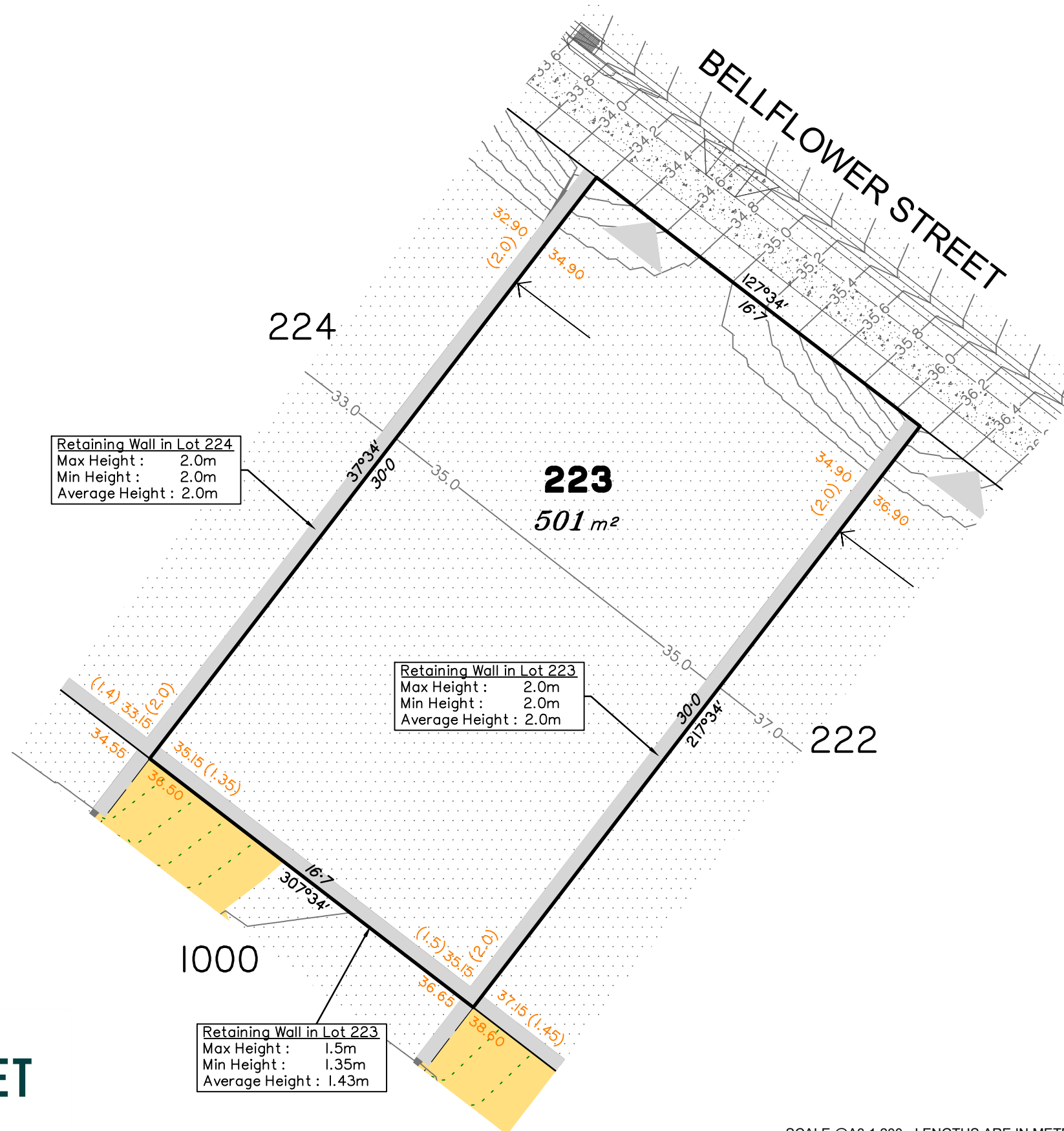
Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m
Scale @A3 1: 200
Dwg No. 9641 S 24 DP A_222

Issues	No.	by	Date	Chkd	Description
	A	TBG	16/11/21	CU	Original Issue



STAGE 3



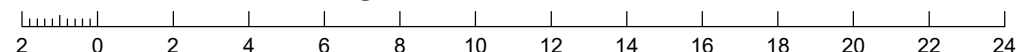
Retaining Wall in Lot 224
Max Height : 2.0m
Min Height : 2.0m
Average Height : 2.0m

Retaining Wall in Lot 223
Max Height : 2.0m
Min Height : 2.0m
Average Height : 2.0m

Retaining Wall in Lot 223
Max Height : 1.5m
Min Height : 1.35m
Average Height : 1.43m



SCALE @A3 1:200 - LENGTHS ARE IN METRES



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

This plan has been prepared from preliminary survey plan (SP331483) and engineering plans provided on the 25/10/2021 by Peak Urban Pty Ltd.

The current development approval for this subdivision was granted by the Ipswich City Council on the 07/04/2021 - Minor Change Application. (Approval No: 3769/2019/MAMC/A)
For updates to the development approval visit: www.ipswich.qld.gov.au

At the time of publication of the original issue of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

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No.	by	Date	Chkd	Description
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Disclosure Plan for Proposed Lot 223 on SP331483

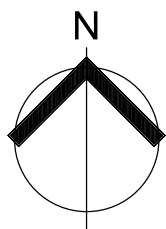
Described as part of Lot 801 on SP157194
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

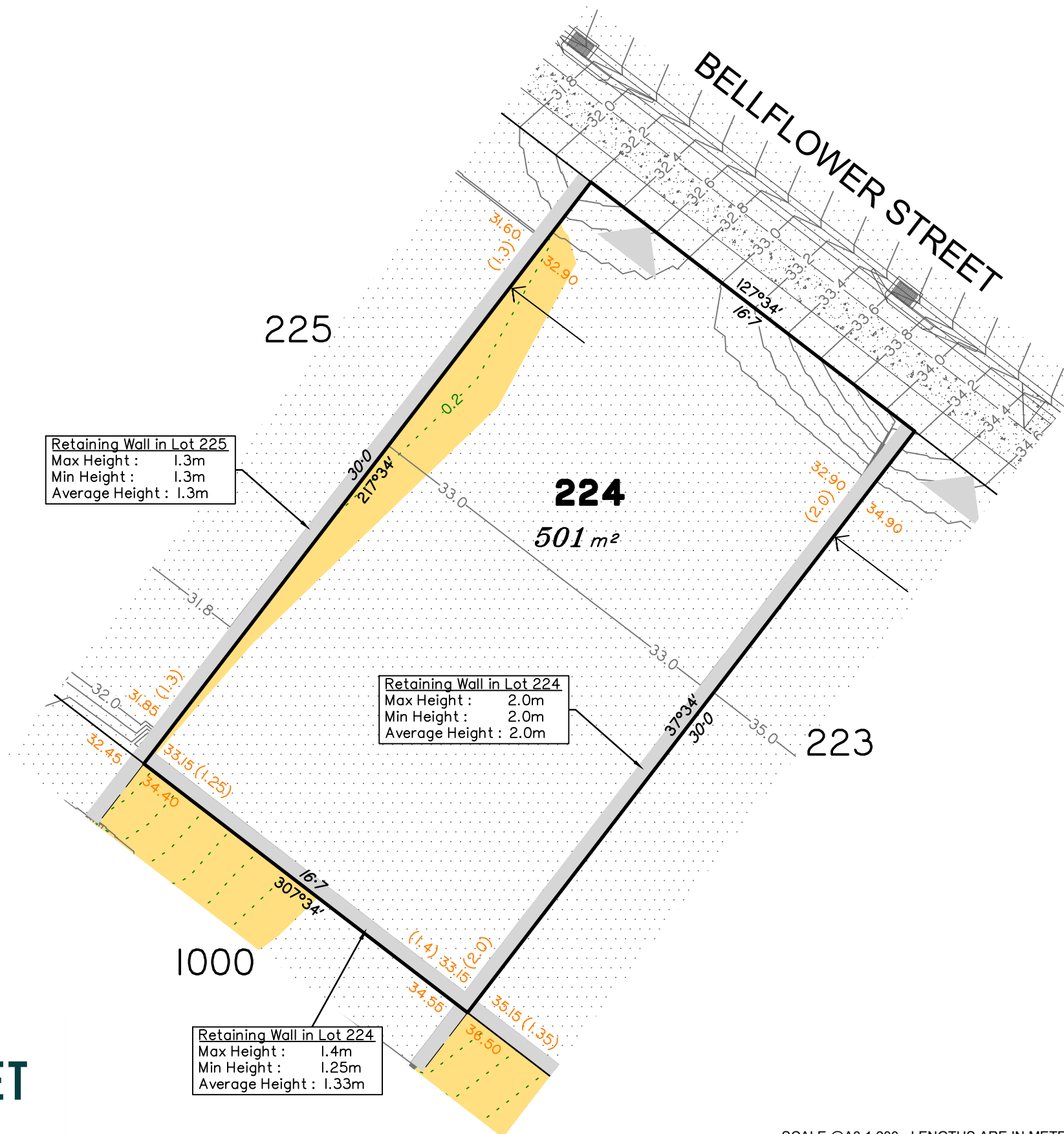
Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m

Scale @A3 1: 200

Dwg No. 9641 S 24 DP A_223



STAGE 3



SCALE @A3 1:200 - LENGTHS ARE IN METRES

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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At the time of publication of the original issue of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban Pty Ltd.

All fill shall be placed and compacted in a controlled manner under Level 1 supervision and certification in accordance with AS3798-2007.



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Disclosure Plan for Proposed Lot 224 on SP331483

Described as part of Lot 801 on SP157194
Existing Title Reference: 50478237

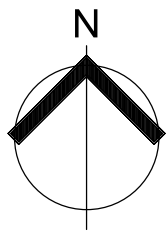
Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m

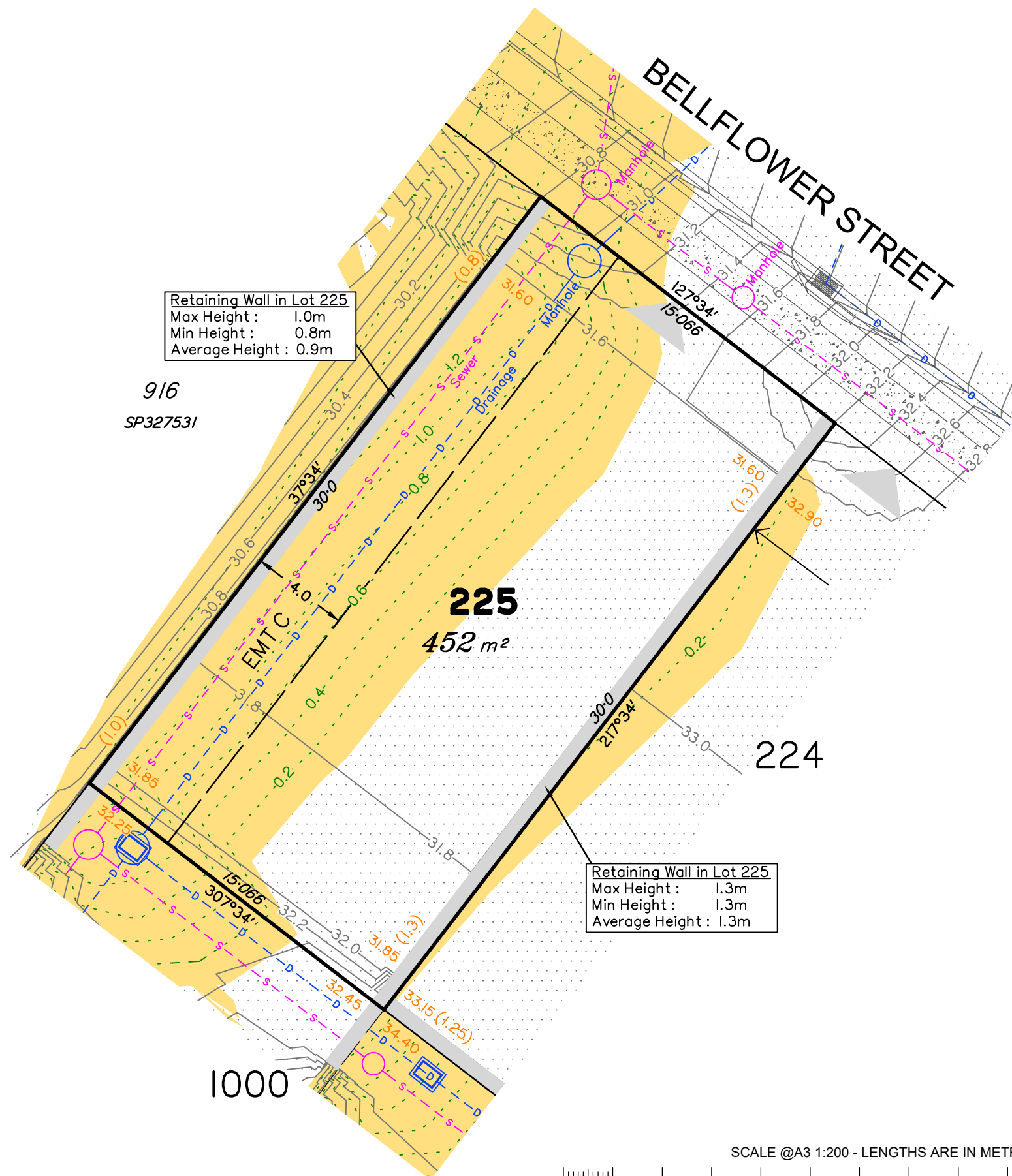
Scale @A3 1: 200

Dwg No. 9641 S 24 DP A_224

No.	by	Date	Chkd	Description
A	TBG	16/11/21	CU	Original Issue



STAGE 3



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Depth of Fill Contours
- Proposed Retaining Wall (Height shown in brackets on lower side)
- Finished Design Surface Level
- Built to Boundary Location
- Future Development Lot Boundary
- Proposed Driveway Location

(Not all items in this legend may be relevant to the lot shown on this plan)

NOTES

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At the time of publication of the original issue of this plan, the relevant authorities have not yet granted operational works approval for the proposed lot.

The purchaser should refer to the applicable development approvals for building and/or other requirements that may be applicable to the lot.

Retaining wall locations and thickness shown on this plan are diagrammatic. For detailed design information refer to the relevant earthworks drawings from Peak Urban Pty Ltd.

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Lot 225 contains Easement C on SP331483 for services benefiting Ipswich City Council.



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Disclosure Plan for Proposed Lot 225 on SP331483

Described as part of Lot 801 on SP157194
Existing Title Reference: 50478237

Locality of Collingwood Park (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PSM110122
RL of Origin: 40.32
Contour Interval: 0.2m
Scale @A3 1: 200
Dwg No. 9641 S 24 DP A_225

No.	by	Date	Chkd	Description
A	TBG	16/11/21	CU	Original Issue